

TOWN OF SLAVE LAKE

CATEGORY: Public Service
POLICY #: D.c.008
OWNER DEPT.: Operations
APPROVED : December 21, 1999
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REVISED: December 16, 1999

TITLE: FRONTAGE AND FLANKAGE POLICY

POLICY

POLICY STATEMENT:

The Town of Slave Lake wishes to establish a frontage and flankage calculation policy to ensure that properties within the Town of Slave Lake are charged for local improvement levies in such a manner that is fair and equitable. In order to achieve this, a frontage and flankage policy establishing the guidelines necessary to arrive at the frontage and flankage dimensions has been developed.

POLICY OBJECTIVE:

1. To ensure the provision of consistent, fair and equitable standards with regard to the calculation of frontage and flankage dimensions.

TITLE: FRONTAGE AND FLANKAGE POLICY

PROCEDURE

1.0 DEFINITIONS:

1.01 Frontage:
Shall be considered the shortest dimension of the property abutting a street or an avenue, regardless of the orientation of the buildings or structures on that parcel.

1.02 Flankage:
Shall be considered the longest dimension of the property abutting a street or an avenue, regardless of the orientation of the buildings or structures on that parcel.

All measurements utilized for the calculation of frontage and flankage dimensions shall be taken from the legal plan and shall include arcs and curves.

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PROCEDURE

2.0 RESPONSIBILITIES: none

3.0 STANDARDS/GUIDELINES

3.01 CALCULATIONS:

3.01-1 Flankage:

1. With respect to local improvement construction, the assessed flankage shall include the entire dimension of that parcel that abuts a street or an avenue.

3.01-2 Frontage:

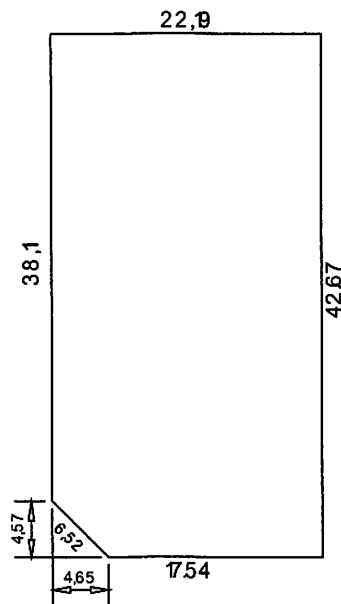
1. With respect to local improvement construction, the assessed frontage shall be calculated, dependent upon the parcel shape and dimensions, by using one of the following methods:
 - a) For parcels of land having equal front and rear parcel dimensions, the assessable frontage shall be equal to the abutting parcel dimension.
 - b) For corner parcels of land, a scaled front lot dimension, reconstructing the corner configuration, shall be calculated and then added to the frontage. This figure shall then become the special frontage dimension. See Diagram 1.
 - c) For pie shaped parcels and parcels having a front dimension and a rear dimension that are different, the frontage shall be calculated by adding together the lineal meters of frontage and the lineal meters at the rear of the parcel and then by dividing the total by two and this average figure shall become the special frontage dimension. See Diagram 2
 - d) For pie and odd shaped parcels of land having a front and rear dimension that are different as well as the rear of the parcel being more than 36.58 meters from the front of the parcel; the average of the frontage and the line created by two points at the distance of 36.58 meters along each side shall then become the special frontage dimension. See Diagrams 3 & 4
 - e) For pie and odd shaped parcels of land where the rear of the parcel is less than 36.58 meters from the front of the parcel and the rear of the parcel contains two or more dimensions, a scaled rear lot dimension shall be taken by connecting the rear outside corners and this shall then become the rear lot dimension. An average of the front and rear lot dimensions will then become the special frontage dimension. See Diagram 5
 - f) For very irregular shaped parcels of land, the frontage will be calculated by a method that the Director of Operations feels is most fair and equitable. See Diagram 6.

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For corner parcels of land, a scaled front lot dimension, reconstructing the corner configuration, shall be calculated and then added to the frontage. This figure shall then become the special frontage dimension. See Diagram 1

Diagram 1



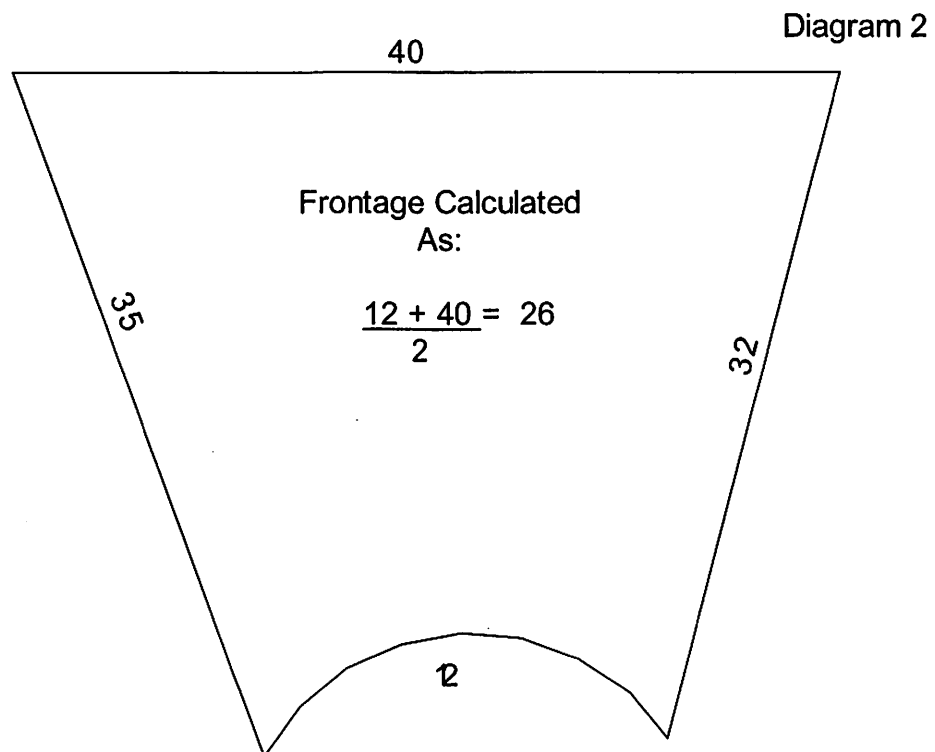
Frontage Calculated
As:

$$4.65 + 17.54 = 22.19$$

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PROCEDURE

For pie shaped parcels and parcels having a front dimension and a rear dimension that are different, the frontage shall be calculated by adding together the lineal meters of frontage and the lineal meters at the rear of the parcel and then by dividing the total by two and this average figure shall become the special frontage dimension. See Diagram 2



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For pie and odd shaped parcels of land having a front and rear dimension that are different as well as the rear of the parcel being more than 36.58 meters from the front of the parcel; the average of the frontage and the line created by two points at the distance of 36.58 meters along each side shall then become the special frontage dimension. See Diagrams 3 & 4

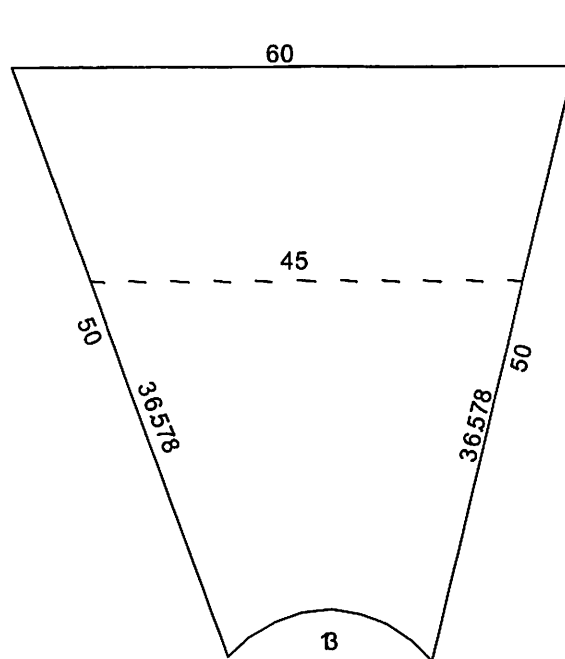


Diagram 3

Frontage
Calculated As:

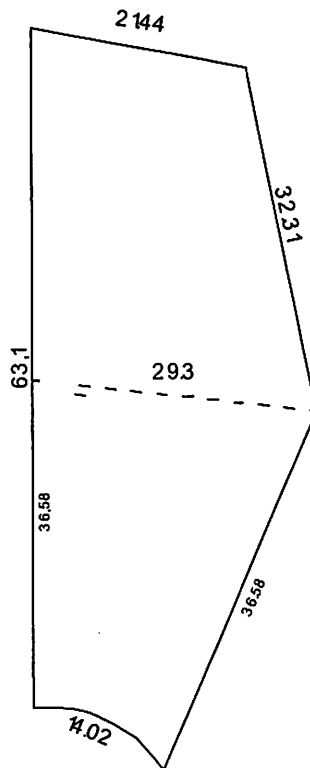
$$\frac{13 + 45}{2} = 29$$

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PROCEDURE

For pie and odd shaped parcels of land having a front and rear dimension that are different as well as the rear of the parcel being more than 36.58 meters from the front of the parcel; the average of the frontage and the line created by two points at the distance of 36.58 meters along each side shall then become the special frontage dimension. See Diagrams 3 & 4

Diagram 4



Frontage Calculated As:

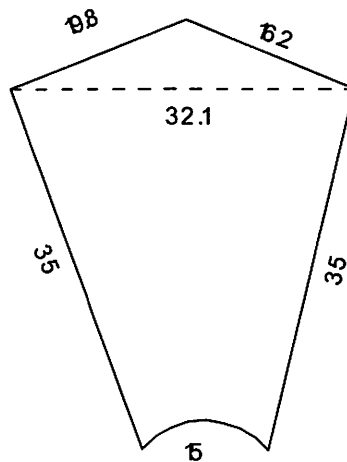
$$\frac{14.02 + 29.3}{2} = 21.66$$

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PROCEDURE

For pie and odd shaped parcels of land where the rear of the parcel is less than 36.58 meters from the front of the parcel and the rear of the parcel contains two or more dimensions, a scaled rear lot dimension shall be taken by connecting the rear outside corners and this shall then become the rear lot dimension. An average of the front and rear lot dimensions will then become the special frontage dimension. See Diagram 5

Diagram 5



Frontage Calculated
As:

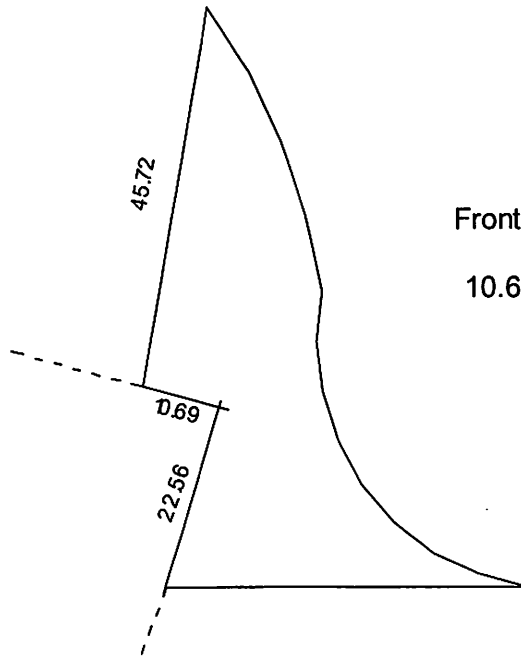
$$\frac{15 + 32.1}{2} = 23.55$$

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For very irregular shaped parcels of land, the frontage will be calculated by a method that the Director of Operations feels is most fair and equitable. See Diagram 6.

Diagram 6



Frontage Calculated As:

$$10.69 + 22.56 = 33.25$$